



Luceus Residence

72 Lincoln Park Avenue
Cranston, Rhode Island 02920

Proposed In-law Suite



GENERAL NOTES:

DEFINITIONS:

(IRC) = INTERNATIONAL BUILDING CODE 2003
(RI-BP) = RHODE ISLAND BUILDING CODE ADDENDUM'S
(NFPA) = NATIONAL FIRE PROTECTION ASSOCIATION
PROVIDE AN EGRESS WINDOW IN ALL BEDROOMS
AS PER CODE

INSTALL SMOKE DETECTORS AS PER FIRE NFPA
PROTECTION CODE

PROVIDE A MIN. 22" X 30" ATTIC ACCESS OPENING.

VENT ALL BATHROOMS TO EXTERIOR AS PER CODE.

DRYERS AND RANGES ARE TO BE VENTED TO EXTERIOR
AND CONFORM TO ANSI Z21.1.1 & ANSI Z21.5.1

ALL DIMENSIONS, NOTES, AND OTHER INFORMATION
CONVEYED IN THESE DRAWINGS ARE FOR CONSTRUCTION
PURPOSES AND ARE SUBJECT TO CHANGE. ALL DIMENSIONS
MUST BE FIELD VERIFIED BY BUILDER/CONTRACTOR AND
SUB-CONTRACTORS. ALL WORK PERFORMED IS TO BE IN
ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES.

DISCLAIMER: THIS DRAFTSPERSON ASSUMES NO
RESPONSIBILITY FOR ANY DIMENSION DISCREPANCIES
OR CHANGES MADE TO ANY PORTION OF THE STRUCTURE.
DISCREPANCY IN STRUCTURE UNIFORMITY, SUCH AS
MATERIAL CONSISTENCY, THE STRUCTURE BEING PLUMB
& SQUARE. AS THIS WILL CAUSE DISCREPANCY THAT
WOULD MAKE THE STRUCTURE PHYSICALLY UNSAFE.

INSULATION:
2 X 6 WALLS R-19
R-38 FOR ATTICS
R-30 FLOORS
MUST MEET RI BUILDING CODE

TYPICAL NAILING SCHEDULE

TYPICAL FLOORS: FLOOR TRUSSES

JOIST TO SILL OR GIRDER, TOENAIL (3) 8D
RIM JOIST TO JOIST (3) 16D
3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL,
OR 14GA. 13/4" STAPLE, OR 11/2" RING OR SCREW SHANK
NAILS @ 6" FROM EDGE 12" O.C.

TYPICAL BUILT-UP GIRDERS AND BEAMS
NAIL EACH LAYER WITH 10D NAILS @ 32" O.C.
AT TOP AND BOTTOM STAGGERED.
TWO NAILS AT ENDS AND AT EACH SPLICE.

TYPICAL WALLS: 2 X 6 EXTERIOR / 2 X 4 INTERIOR
BOTTOM PLATE TO JOIST 16D @ 16" O.C.
STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
STUD TO TOP PLATE (2) 16D OR (3) 8D
DOUBLE TOP PLATE (2) 10D @ 24" O.C.
DOUBLE STUDS (2) 16D OR (3) 8D @ 16" O.C.
PLATE LAPS AT CORNERS AND INTERSECTIONS (4) 10D
1/2" WALL SHEATHING TO FRAMING 6D OR 15 GA. 1 1/2"
STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
@ 6" FROM EDGES 12" O.C.

TYPICAL BUILT-UP HEADERS
TWO PIECES WITH 1/2" SPACER 16D @ 16" O.C. ALONG EACH EDGE

TYPICAL ROOFS

CEILING JOIST TO PLATE, TOE NAIL (3) 8D
CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (3) 10D
RAFTER TO PLATE, TOE NAIL (2) 16D
1/2" ROOF SHEATHING TO FRAMING 6D OR 15 GA. 1 1/2"
STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
@ 6" FROM EDGES 12" O.C.



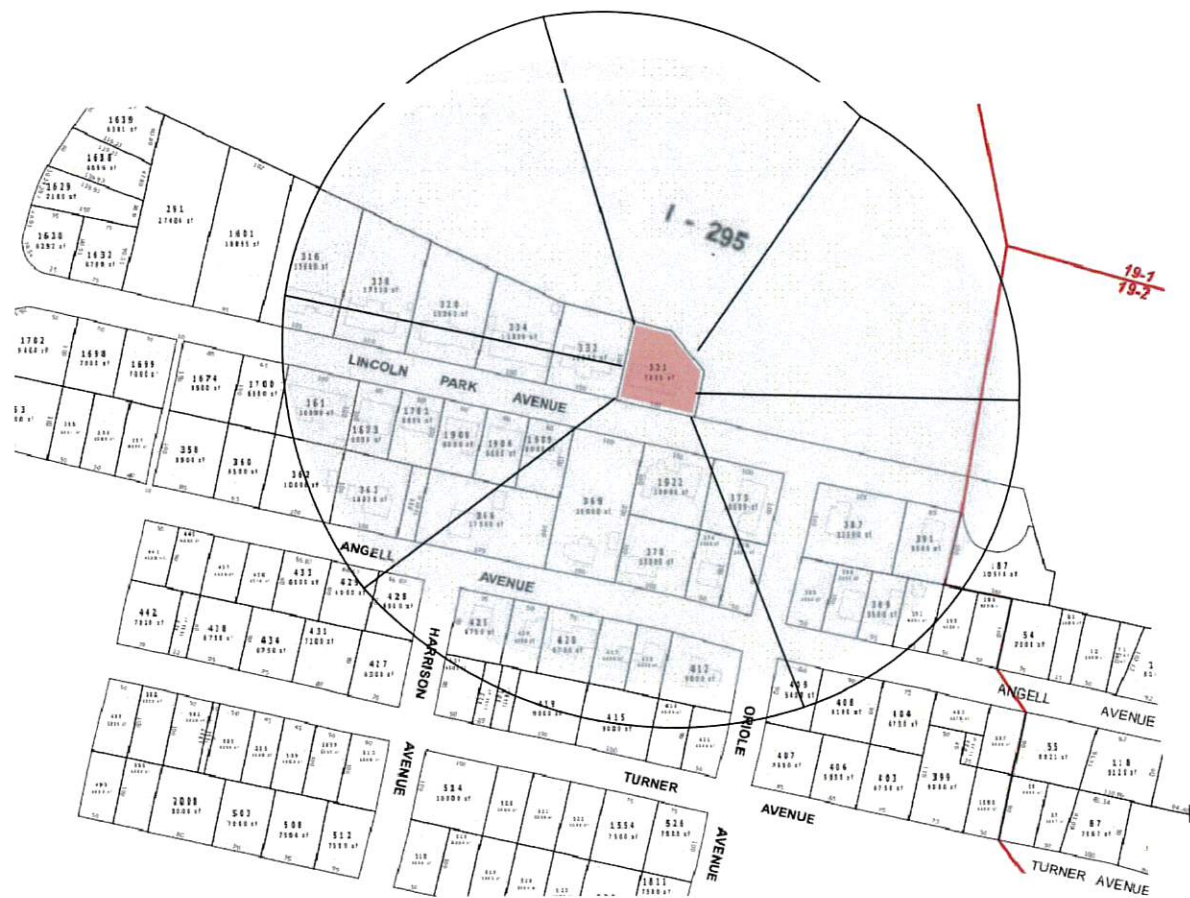
A FRONT ELEVATION
NTS



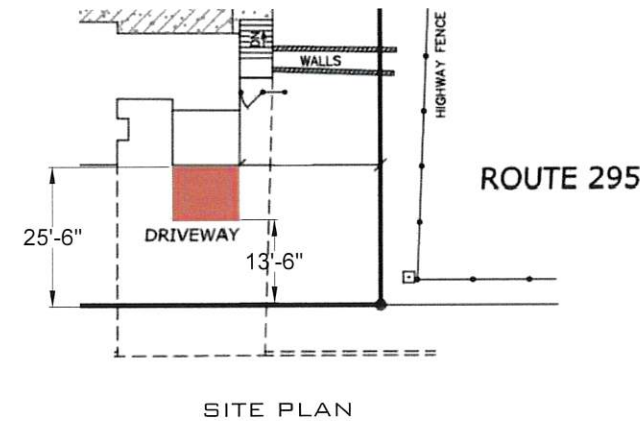
B VIEW LOOKING SOUTH
NTS



C VIEW LOOKING NORTH
NTS



ABUTTERS MAP



SITE PLAN



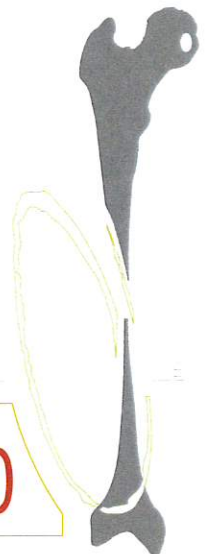
D BACK ELEVATION
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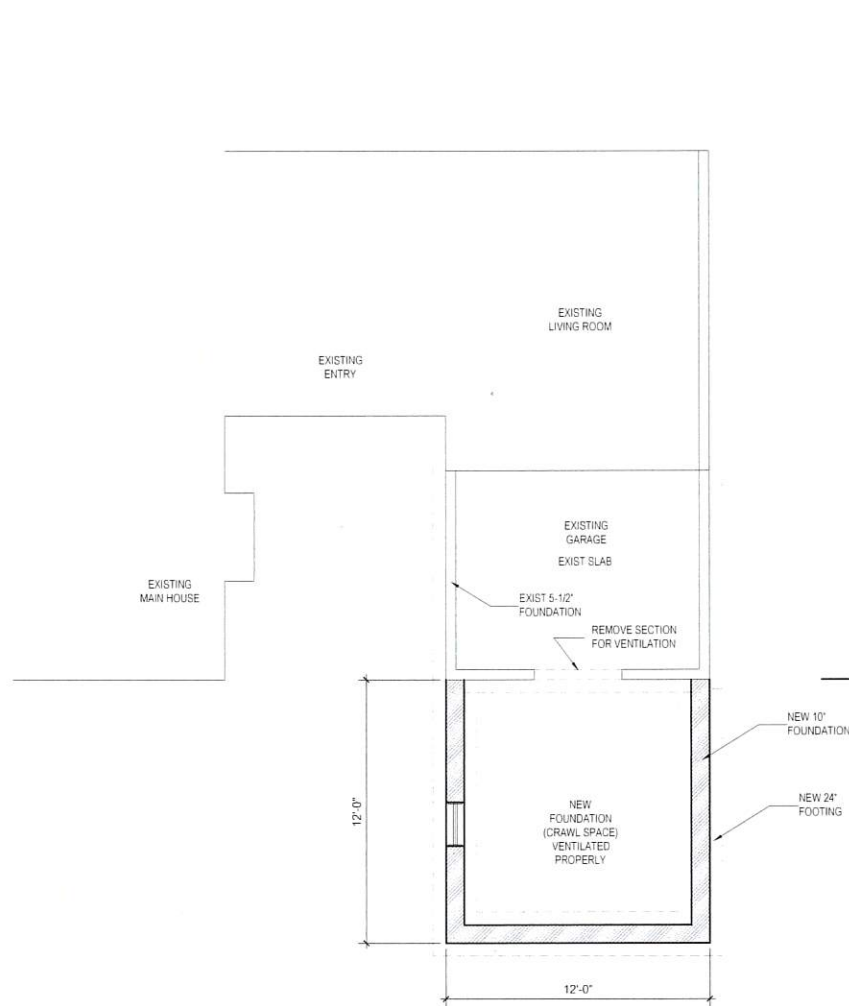
Project No. 129 Date: 11/2021

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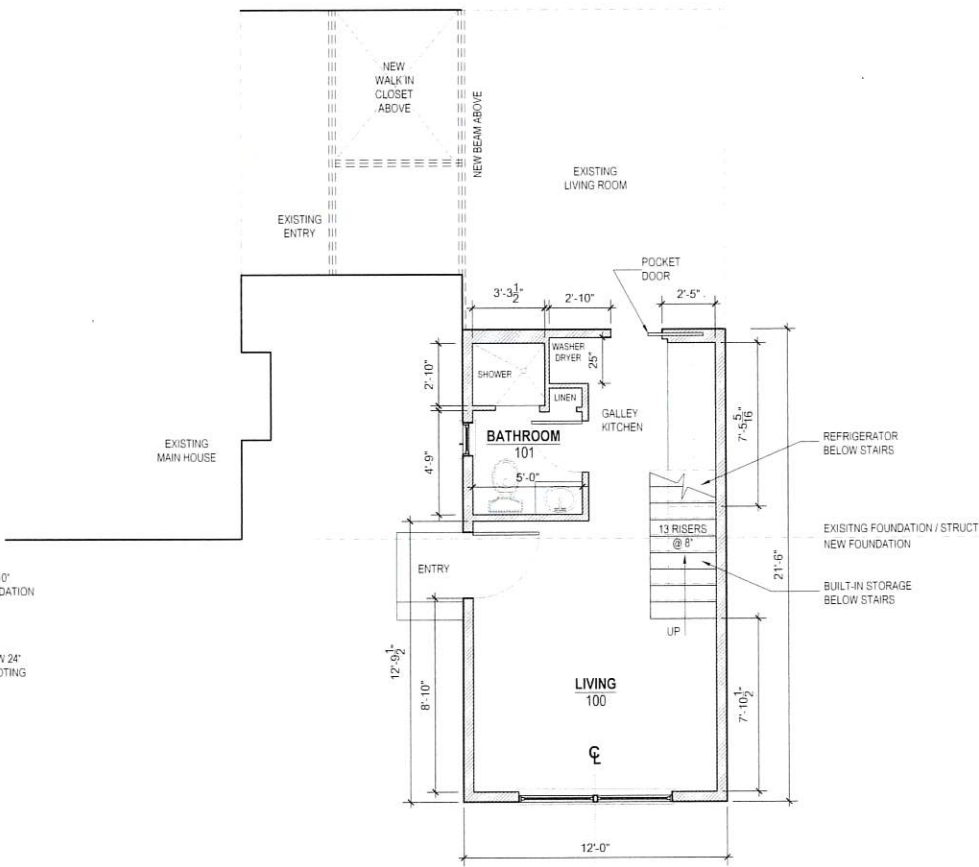
AS NOTED

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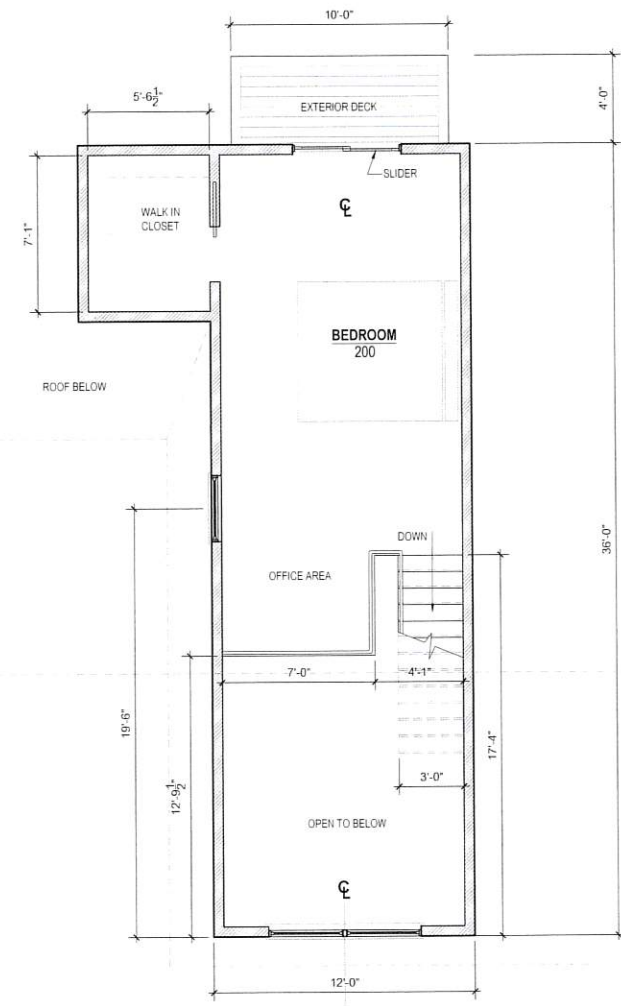




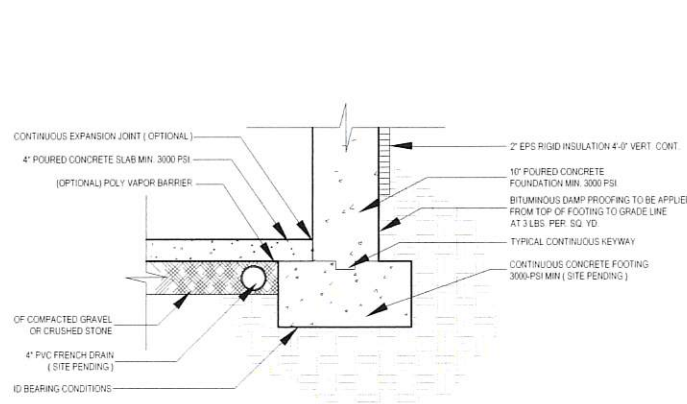
A FOUNDATION PLAN
SCALE 1/4" = 1'-0"



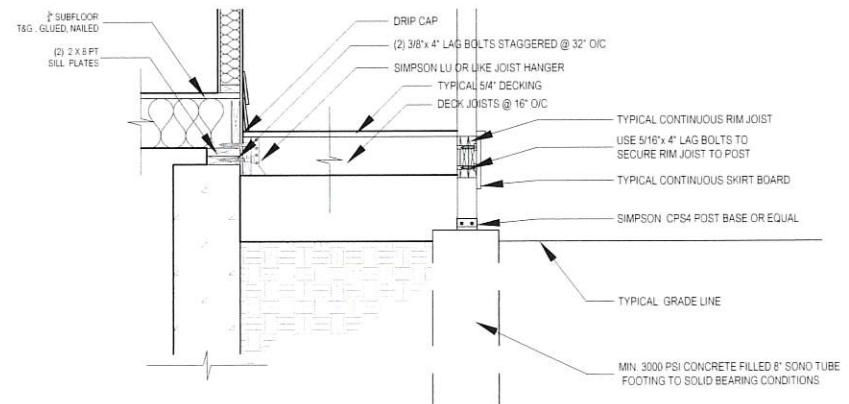
B FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



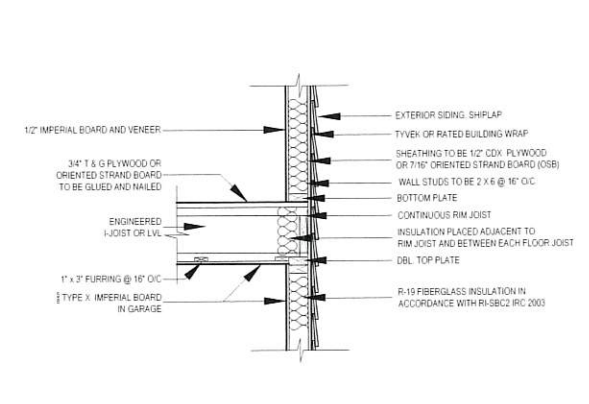
C LOFT PLAN
SCALE 1/4" = 1'-0"



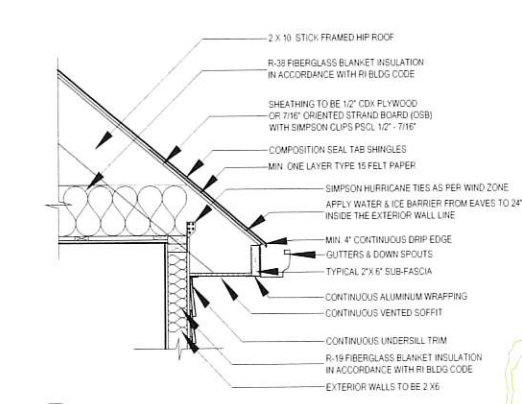
D TYPICAL FOUNDATION SLAB DETAIL
SCALE 3/4" = 1'-0"



E TYPICAL FLOOR / FOUNDATION / PORCH
SCALE 3/4" = 1'-0"



F TYPICAL FLOOR / WALL
SCALE 3/4" = 1'-0"

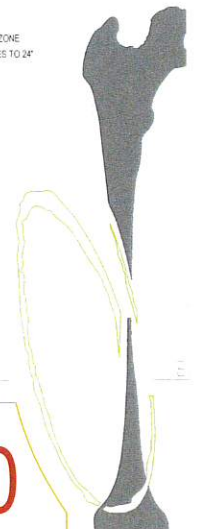


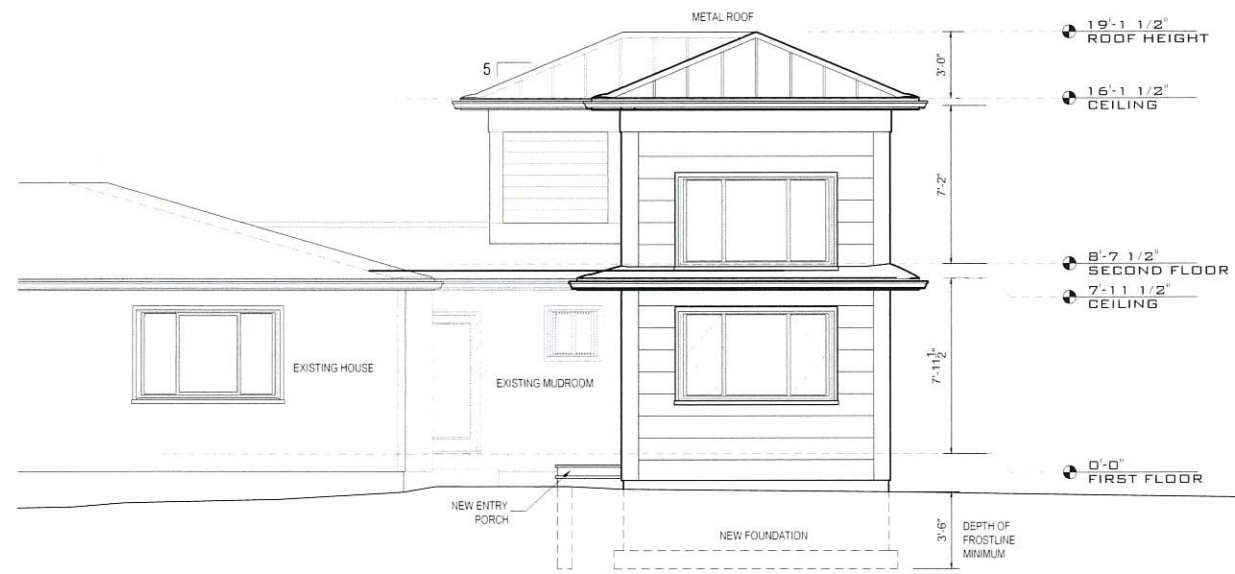
G TYPICAL WALL / ROOF
SCALE 3/4" = 1'-0"

Project No. 129	Date: 10/2021	Project Title: RAJESH K. RAJESH
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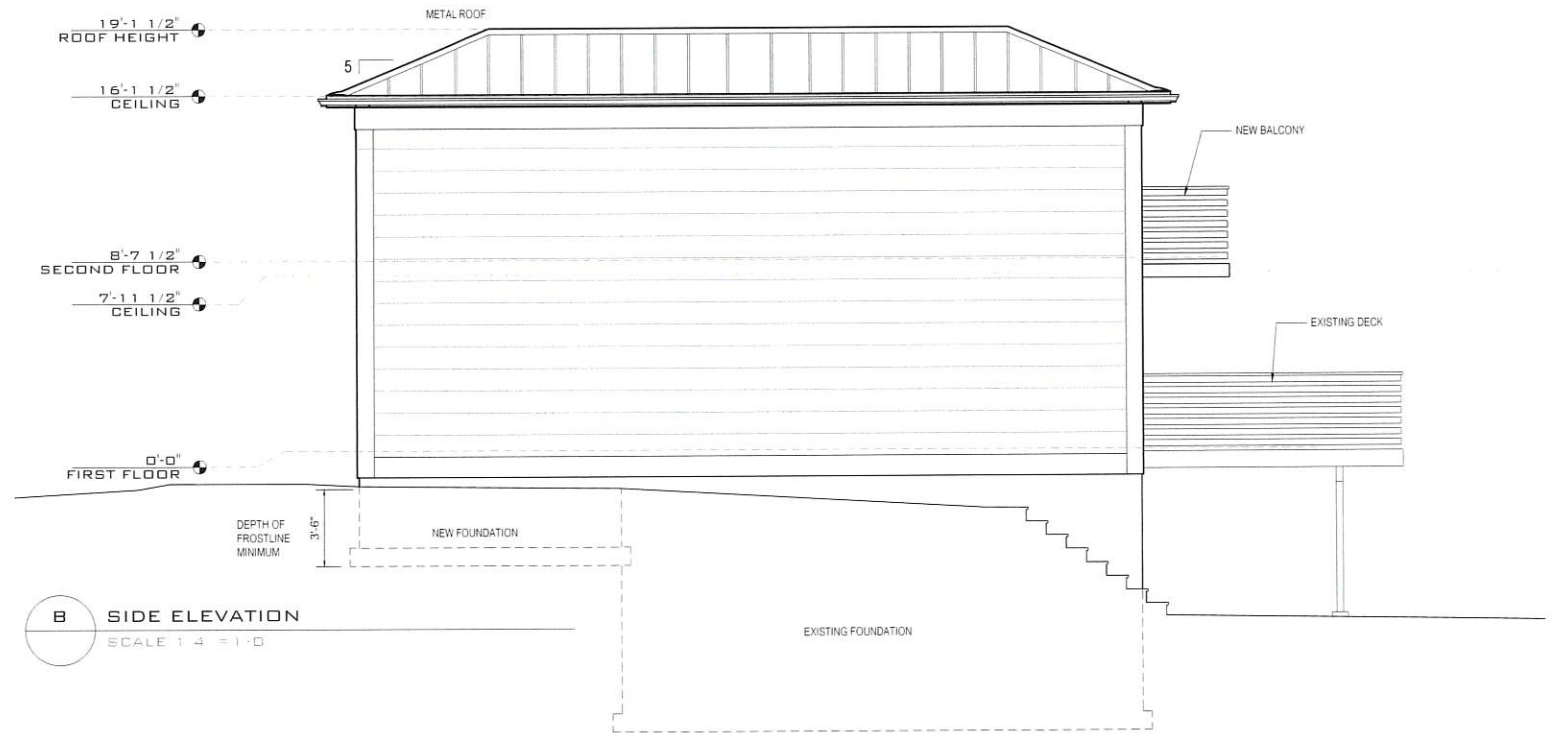
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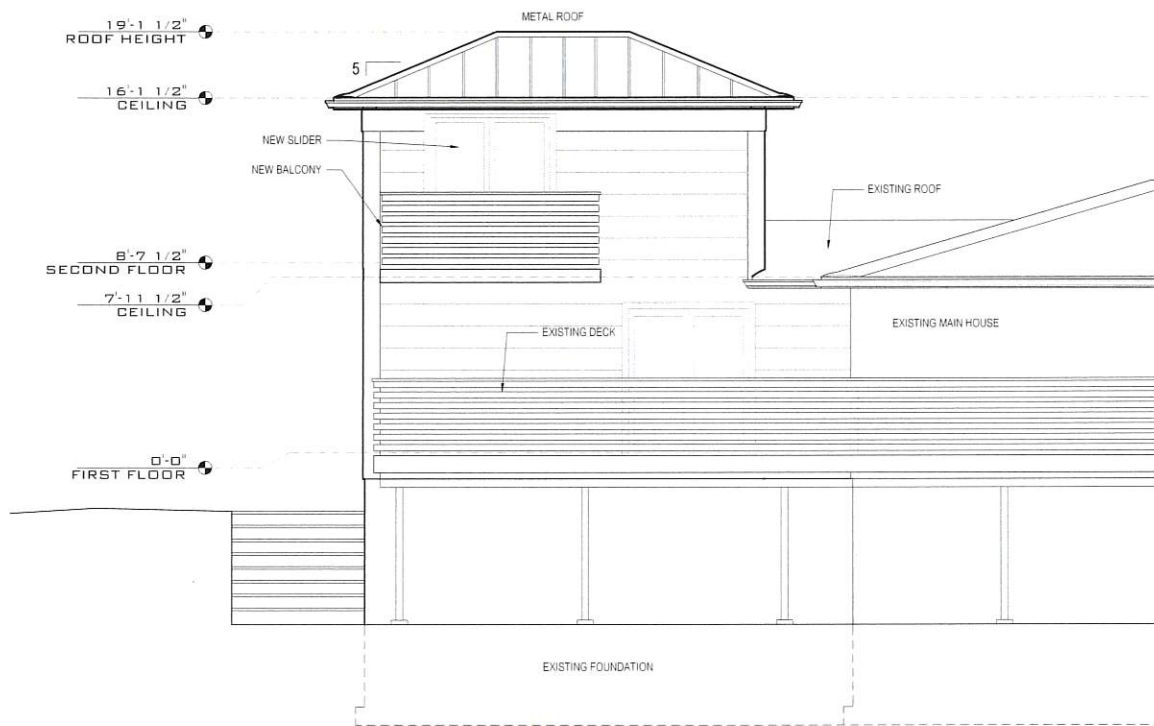




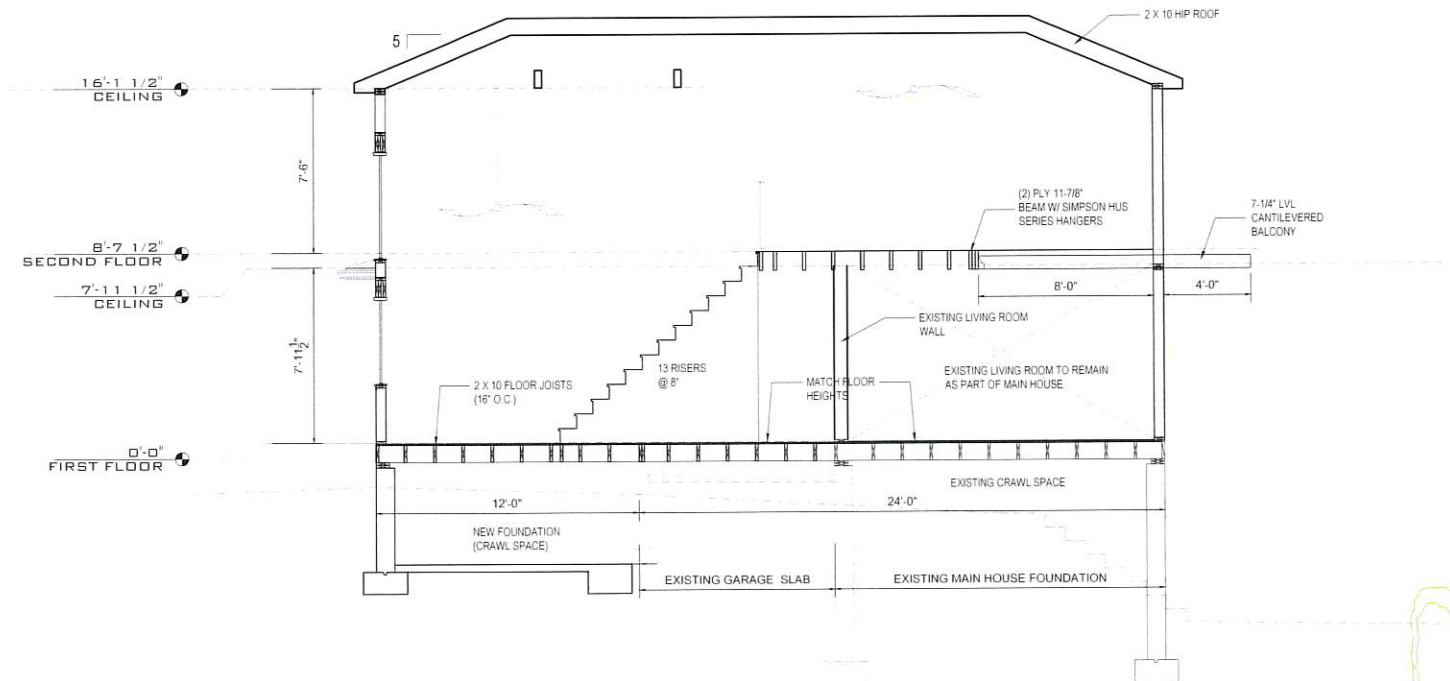
A FRONT ELEVATION
SCALE 1/4" = 1'-0"



B SIDE ELEVATION
SCALE 1/4" = 1'-0"



C BACK ELEVATION
SCALE 1/4" = 1'-0"



D SECTION
SCALE 1/4" = 1'-0"

Project No. 109 Date: 11/2021 No. 1 Revision 2/1/2021

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Sheet No.:

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SCALE AS NOTED

